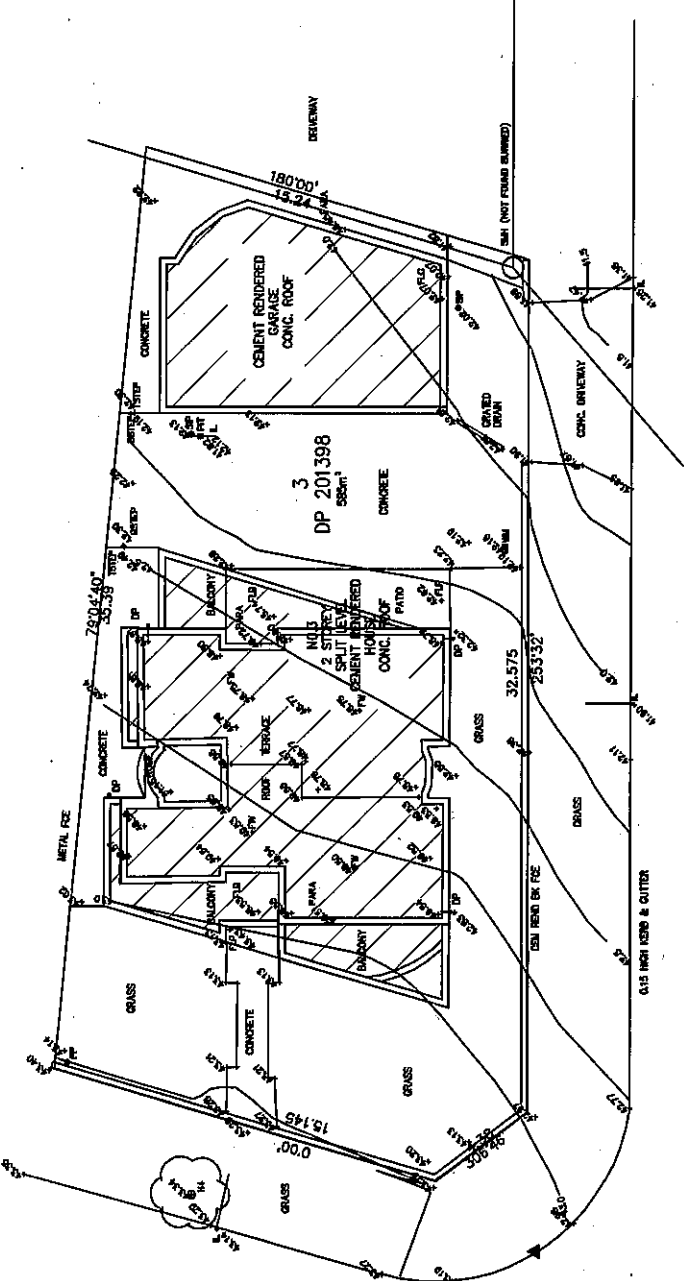
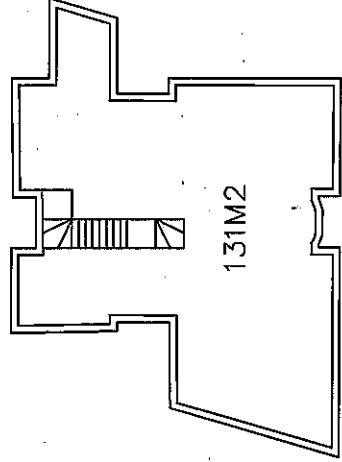


FLOOR SPACE RATIO
 GROUND FLOOR 131 M2
 FIRST FLOOR 110 M2
 ROOF TERRACE N/A
 NON HABITABLE 68 M2
 GARAGE 32M2
 EXCLUSIONS 3.8M2
 CAR PARKING 3.8M2
 STAIRS 3.8M2
 TOTAL EXCLUSIONS 35.8M2

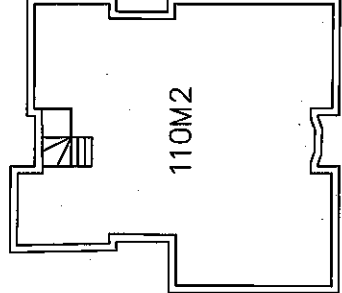
GROSS FLOOR AREA = 131+110+68-35.8 = 273.2M2
 LOT SIZE=565 M2
 ALLOWABLE FSR= 0.5:1
 ALLOWABLE FSR= 0.5x565=282M2 COMPLIES



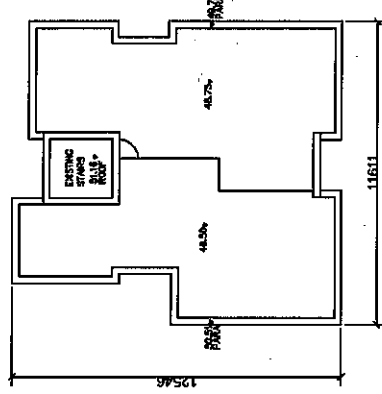
PETER CRESCENT
 SITE PLAN



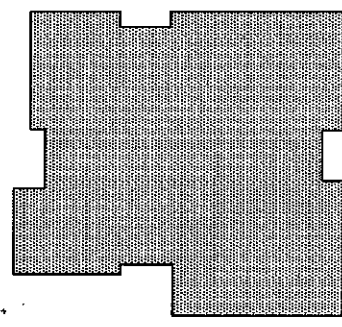
EXISTING GROUND FLOOR PLAN



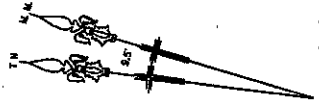
EXISTING FIRST FLOOR PLAN



EXISTING ROOF PLAN



PROPOSED TERRACE ROOF
 NON HABITABLE



1 2 3 4 5 10 15

PROJECT: 3 PETER CRESCENT, GREENACRE
 PROPOSED ROOF ADDITION

CLIENT: DAVID ZHANG

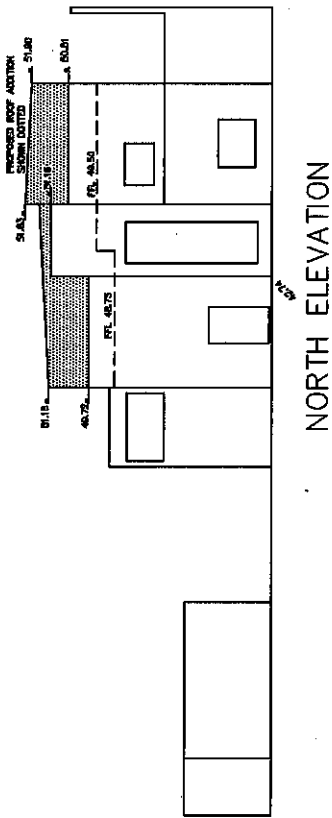
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 PH: 04-08612567
 EMAIL: mask8@optusnet.com.au
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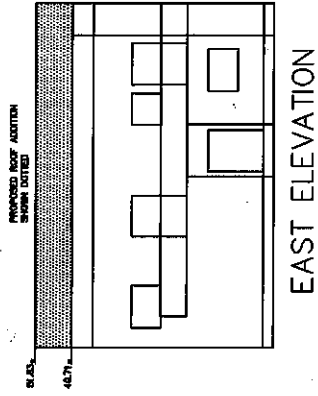
LGA: BANKSTOWN

DRAWN: RM/SCALE
 DATE: MARCH 2022
 PROJECT NO. 88888

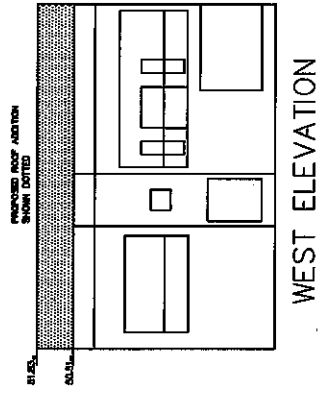
A.H.D.
 PROPOSED TERRACE ROOF
 DRAWING NO. DAI



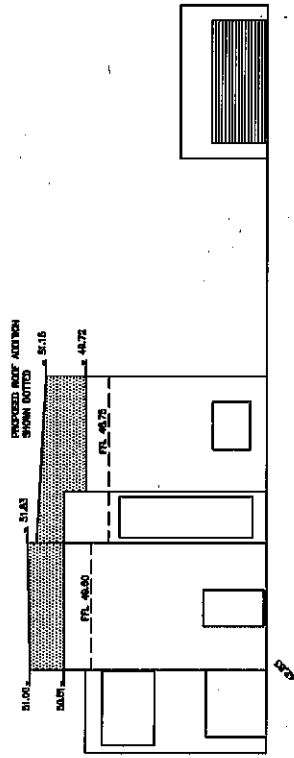
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

PROJECT: 3 PETER CRESCENT, GREENACRE
 PROPOSED ROOF ADDITION

CLIENT: DAVID ZHANG

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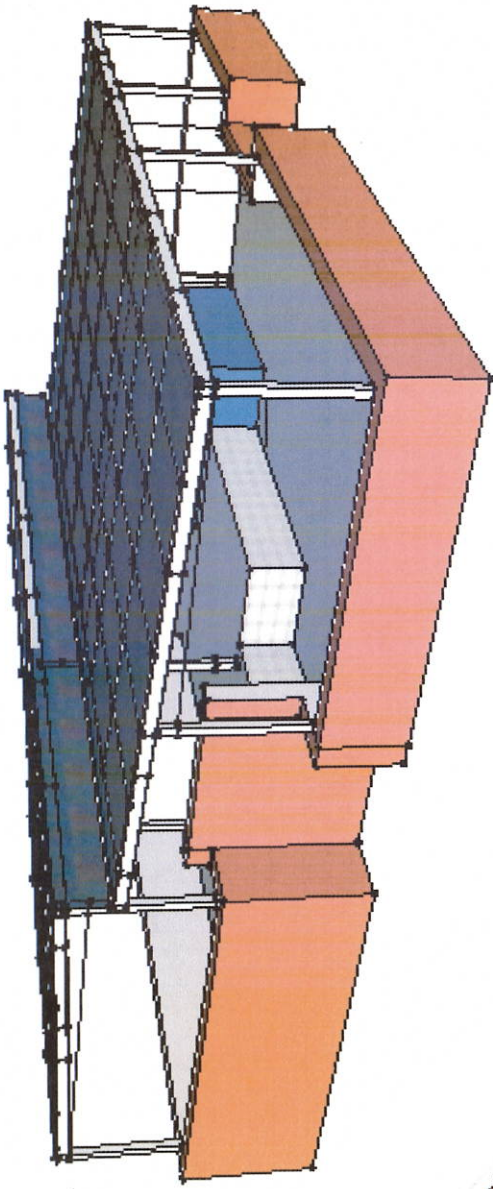
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DATE: MARCH 2022

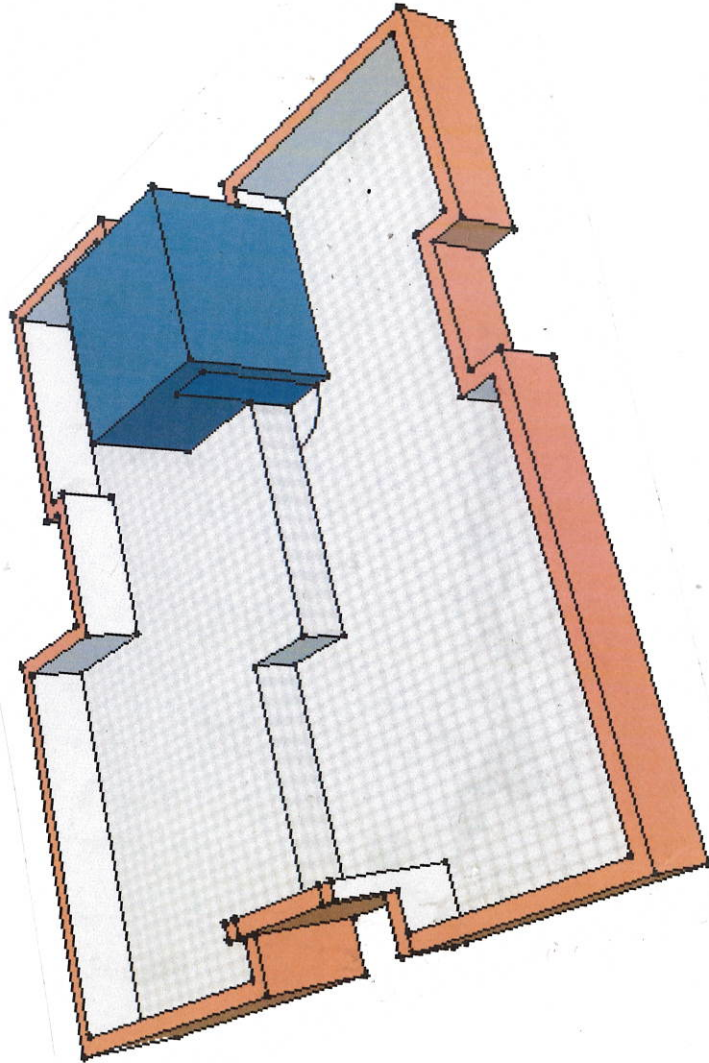
PROPOSED TERRACE ROOF
 DRAWING NO: DA2

PROJECT NO: 88888

A.H.D.



PROPOSED TERRACE ROOF



EXISTING TERRACE

PROJECT: 3 PETER CRESCENT, GREENACRE
 PROPOSED ROOF ADDITION

CLIENT: DAVID ZHANG

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LEA BANKSTOWN
 DRAWN R.M SCALE
 DATE MARCH 2022
 PROJECT No. 88888

A.H.D.
 PROPOSED TERRACE ROOF
 DRAWING NO: DA3

STORMWATER DRAINAGE:

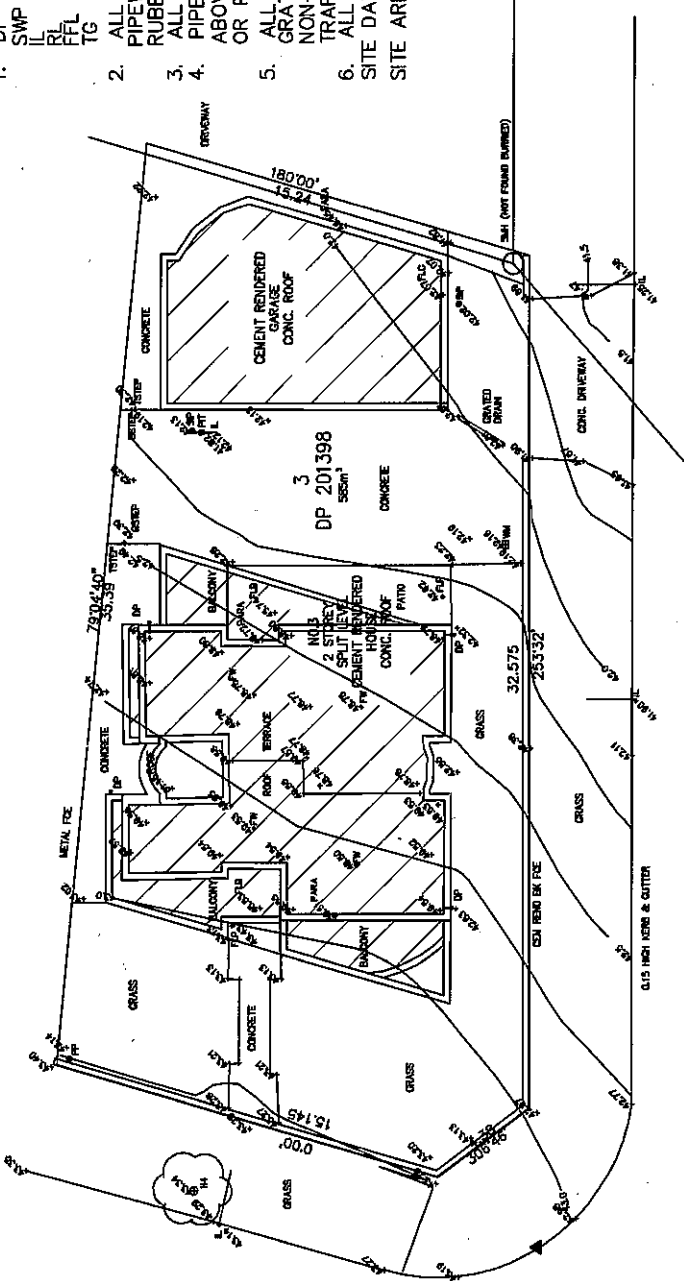
1. DP DENOTES DOWNPIPE
- IL DENOTES STORMWATER PIT
- RL DENOTES INVERT LEVEL
- FL DENOTES REDUCED FLOOR LEVEL
- FLL DENOTES FINISHED FLOOR LEVEL
- TG DENOTES TRENCH GRADE

2. ALL PIPEWORK TO BE 150 DIA. UNLESS NOTED OTHERWISE WITH PIPEWORK UP TO 225 DIA. TO BE SEWER GRADE UPVC, OR VCP RUBBER RING JOINT.
3. ALL PIPES TO BE LAID ON MINIMUM 1% GRADE.
4. PIPES SHALL BE BEDDED ON SAND & BACKFILLED WITH SAND TO 150MM ABOVE BARREL OF PIPE OR FULL DEPTH WHERE LOCATED UNDER OR PAVEMENT.
5. ALL PITS TO BE CI & D PRECAST OR EQUAL, OR CAST IN SITU CONC. GRATES TO BE WELDLACK OR EQUAL. COVERS TO BE CAST IRON OR EQUAL. NON-TRAFFICABLE AREAS: LIGHT DUTY WELDLACK GRATINGS. TRAFFICABLE AREAS: HEAVY DUTY WELDLACK GRATINGS.
6. ALL TRENCH GRATES SHALL HAVE A MINIMUM CLEAR WIDTH OF 200MM.

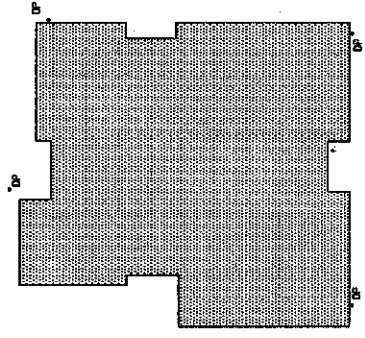
SITE DATA:

SITE AREA=585M²

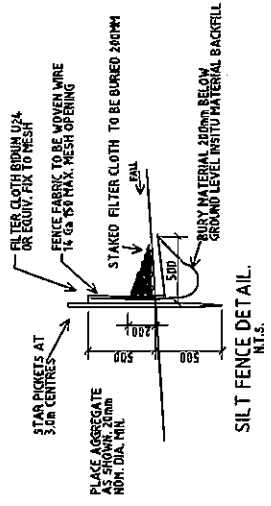
NOTES:
 ALL STORMWATER PIPES TO BE UPVC PIPES UNLESS SHOWN OTHERWISE.
 BEFORE EXCAVATING THE FOOTWAY AREA CONTACT "DIAL BEFORE YOU DIG" (PHONE 1100) TO OBTAIN SERVICES DIAGRAMS. ALL DIAGRAMS TO BE RETAINED ON SITE AND REFERRED TO DURING CONSTRUCTION.
 ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 STORMWATER DRAINAGE PIPES. MIN 250 COVER AT MIN 1% GRADE UNO.
 DOWNPIPES ARE EXISTING AND DRAIN INTO EXISTING DRAINAGE SYSTEM.



GROUND FLOOR PLAN



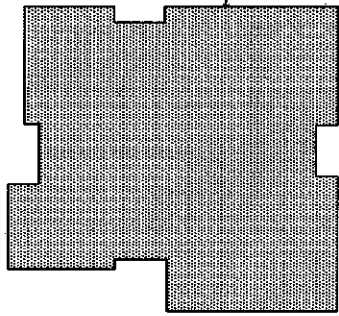
PROPOSED TERRACE ROOF
 DOWNPIPES ARE EXISTING AND DRAIN INTO EXISTING DRAINAGE SYSTEM



01 ROOF & STORMWATER PLAN
 SCALE 1:100

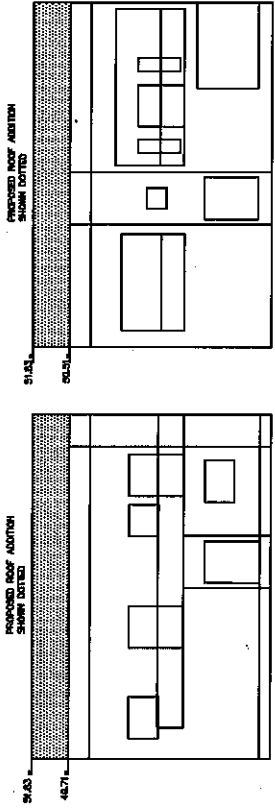
+ DENOTES EXISTING LEVELS
 ● DENOTES PROPOSED LEVELS

<p>PROJECT: 3 PETER CRESCENT, GREENACRE PROPOSED ROOF ADDITION</p> <p>CLIENT: DAVID_ZHANG</p>	<p>MEZBUILD DESIGN & CONSTRUCTION PTY LTD 141 VIRGIL AVE CHESTER HILL PH: 0408612567 EMAIL: mask8@optusnet.com.au CIVIL & STRUCTURAL ENGINEERS</p> <p>copyright © PROJECT MANAGERS</p>	<p>USA BANKSTOWN</p> <p>DRAWN R.M. SCALE 1:100 A.H.D.</p> <p>DATE MARCH 2022 STORMWATER PLAN</p> <p>PROJECT NO. 88888 EROSION AND SEDIMENT CONTROL PLAN</p> <p>DRAWING NO. DA7</p>
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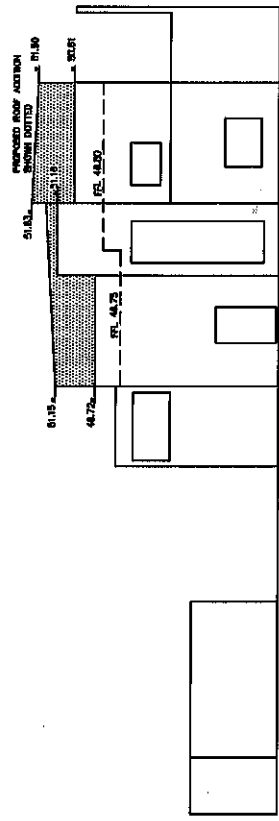


COLOR BOND ROOF SHEETING
DUJUX - WINTER PALACE UD (A385)

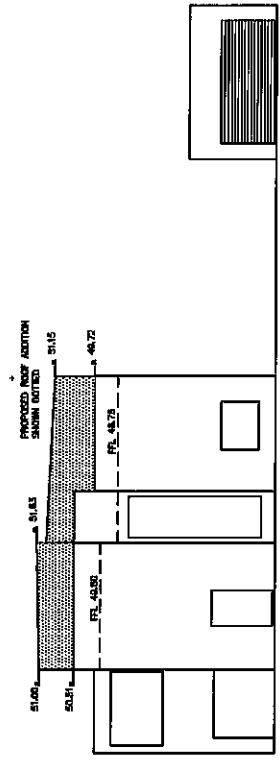
PROPOSED TERRACE ROOF



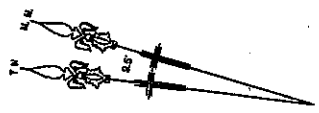
EAST ELEVATION WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



SCHEDULES OF COLOUR AND FINISHES

PROJECT: 3 PETER CRESCENT, GREENACRE
PROPOSED ROOF ADDITION

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USA BANKSTOWN

DRAWN: RM SCALE 1:100
DATE: MARCH 2022
SCHEDULES OF COLOUR AND FINISHES
DRAWING NO: D/A6

CLIENT: DAVID ZHANG

A.H.D.